

G.C. HOMES, INCORPORATED  
OWNER - DEVELOPER  
14425 COUNTRY WALK DRIVE MIAMI, FLORIDA

SUMMERVILLE  
GOULDS, MIAMI - DADE COUNTY, FLORIDA

JAROSZ, ROSELLO & BALBOA  
ARCHITECTURE & TOWN PLANNING  
3326 MARY STREET SUITE 500 COCONUT GROVE, FLORIDA 33133  
TELEPHONE: 305.446.0888 FACSIMILE: 305.447.1177 MAIL @ JRBARCHITECTURE.COM

TYPE IVB Small Sideyard House

BUILDING USE

1. USES OF THE BUILDINGS AS SHOWN HERE ARE RESIDENTIAL OCCUPANCY.
2. OTHER FOLLOWING USES ARE ADDITIONALLY PERMITTED FOR OUT BUILDINGS/CARRIAGE HOUSE SUCH AS WORKSHOP, GUEST COTTAGE, ARTIST STUDIO SAUNA, POOL HOUSE EQUIPMENT ENCLOSURE, GAZEBO, CONSERVATORY.

BUILDING PLACEMENT

1. BUILDINGS SHALL BE SET ON LOTS RELATIVE TO THE PROPERTY LINES AS SHOWN HERE.

PARKING

1. PARKING SPACES SHALL BE PROVIDED WITHIN THE AREAS SHOWN.
2. NUMBER OF PARKING SPACES INDICATED SHALL BE CONSIDERED TO BE THE REQUIRED MINIMUM.

PERMITTED ENCROACHMENT

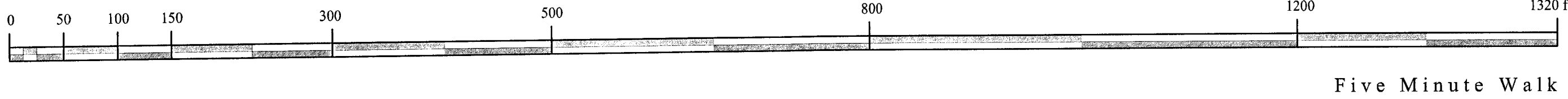
1. THE FOLLOWING ARCHITECTURAL ELEMENTS, SUCH AS STOOPS, BALCONIES, OPEN PORCHES, COVERED WALKWAYS, BAY WINDOWS, AND RAISED DOOR YARDS, SHALL BE PERMITTED TO ENCROACH WITHIN THE PARAMETERS SHOWN HERE.
2. GARDEN WALLS AND FENCES SHALL BE MANDATORY AS SHOWN HERE. WALLS SHOULD BE OF MASONRY AND FENCES OF WOOD, OR ELEMENTS AS OTHERWISE NOTED.

BUILDING HEIGHT

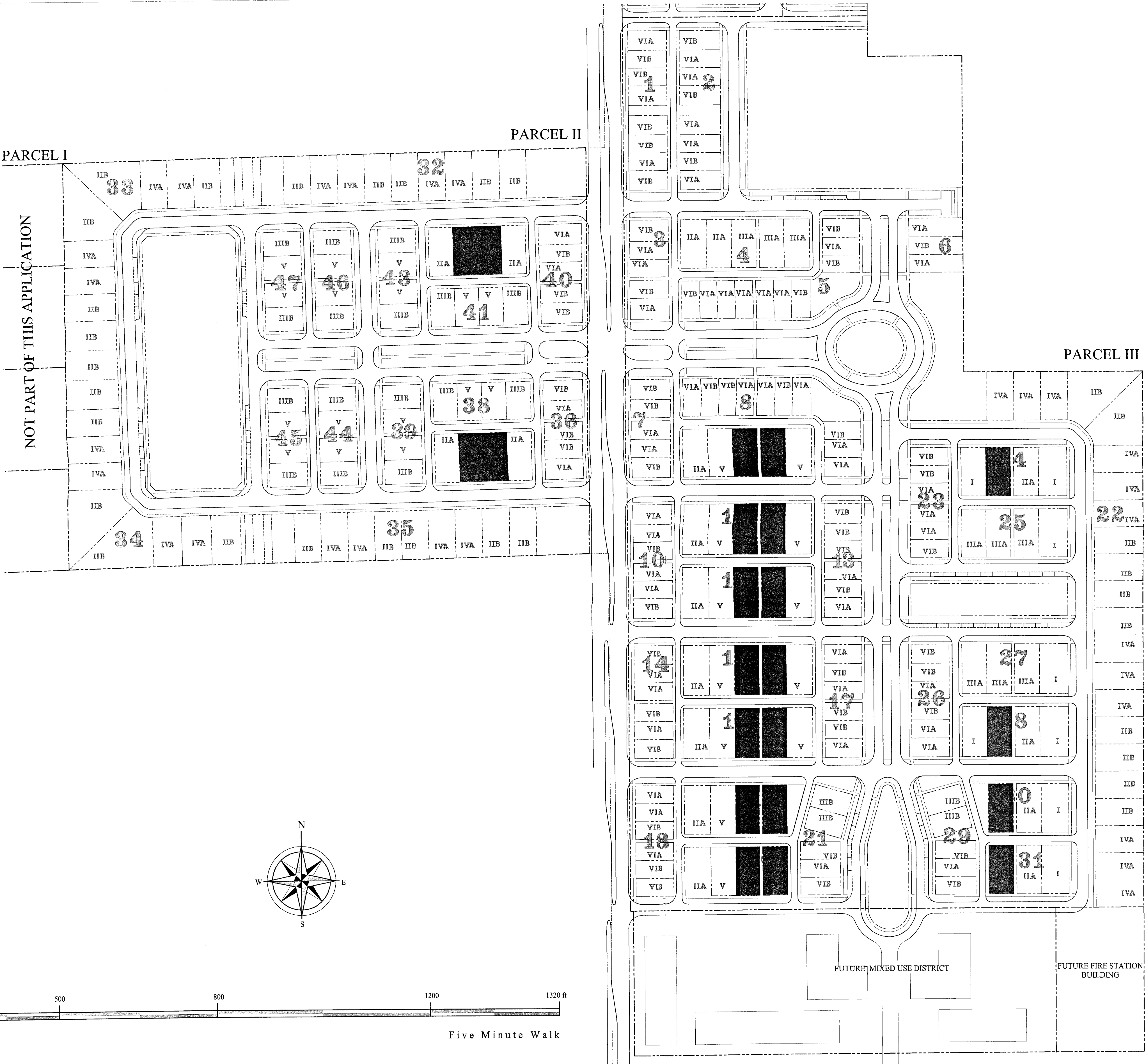
1. HEIGHTS SHALL BE MEASURED RELATIVE TO THE FRONTING STREET ELEVATION AND A SPECIFIED POINT ON THE BUILDING.
2. MINIMUM AND MAXIMUM BUILDING HEIGHTS SHALL BE MEASURED IN NUMBER OF FLOORS EACH NOT TO EXCEED 12' FLOOR TO CEILING.

LEGEND

- VISIBILITY TRIANGLE
- ALLOWABLE ENCROACHMENT
- REQ'D CHARACTERISTIC LOCATION
- HOUSE TYPE LOCATION



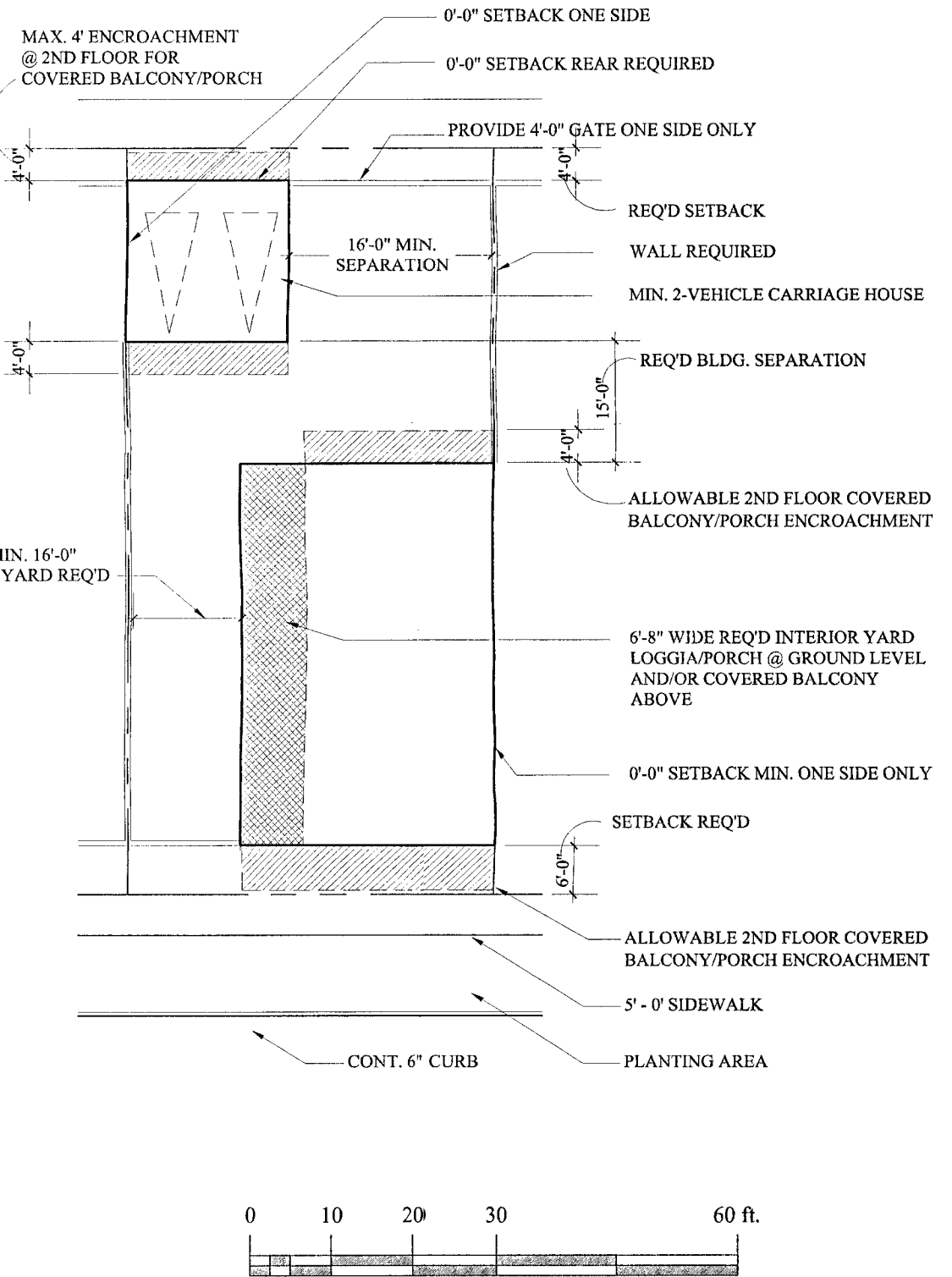
JULY 15, 2002  
Lic. # AR0008223



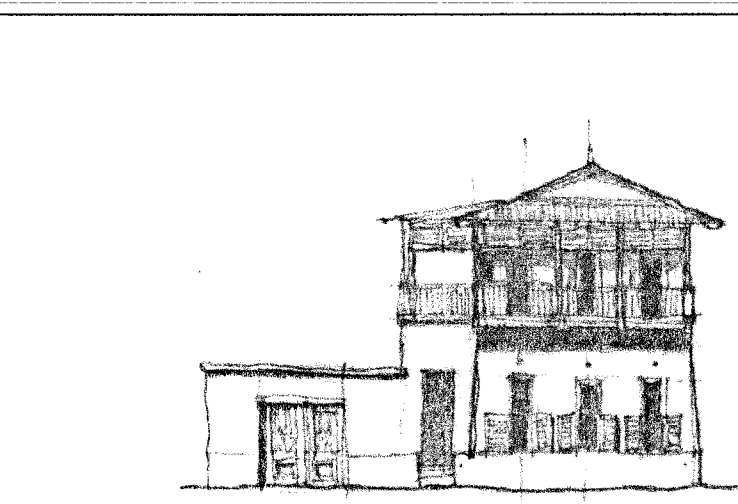
TYPE IVB

SMALL SIDYARD HOUSE

Architecture Style : Charleston, South Carolina Style  
Archetype Characteristics and Development Parameters:  
Two (2) Stories, required  
Second Story Porch or Covered Sleeping Balcony at Street Frontage required  
Covered Sleeping Balcony at Carriage Second Story Required  
Detached Carriage House Required: Two (2) Stories Maximum  
Loggia/Porch Required at Interior Sideyard  
Front Stoop Required: Min. Stoop Height = 28"  
Maximum Height to Roof Eave at Principle Structure = 26'-0" to 30'-0" Above First Finished Floor  
Minimum -Maximum Roof Eave at Second Story Carriage House = 20'-0" - 22'-0" Above Finished Grade  
Perimeter Walls Required: Wall Height 3'-0" Min. to 6'-0" Max.  
Carriage Lane Required at Rear Property Line



Proposed Unit Maximum Interior Gross Square Footage: 2,665 sq. ft.  
Minimum Unit Private Open Space Provided: 3,020 sq. ft.  
Maximum Lot Coverage: 1,725 sq. ft.  
Minimum Lot Square Footage: 4,050 sq. ft.  
Minimum Street Frontage Required: 65%  
Proposed Number of Units: 22 Units



CONCEPTUAL ELEVATION



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14425 COUNTRY WALK DRIVE MIAMI, FLORIDA

SUMMERVILLE  
GOULDS, MIAMI - DADE COUNTY, FLORIDA

TYPE V Small House

JAROSZ, ROSELLO & BALBOA

ARCHITECTURE & TOWN PLANNING

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BUILDING USE

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BUILDING PLACEMENT

- BUILDINGS SHALL BE SET ON LOTS RELATIVE TO THE PROPERTY LINES AS SHOWN HERE.

PARKING

- PARKING SPACES SHALL BE PROVIDED WITHIN THE AREAS SHOWN.
- NUMBER OF PARKING SPACES INDICATED SHALL BE CONSIDERED TO BE THE REQUIRED MINIMUM.

PERMITTED ENCROACHMENT

- THE FOLLOWING ARCHITECTURAL ELEMENTS, SUCH AS STOOPS, BALCONIES, OPEN PORCHES, COVERED WALKWAYS, BAY WINDOWS, AND RAISED DOOR YARDS, SHALL BE PERMITTED TO ENCROACH WITHIN THE PARAMETERS SHOWN HERE.
- GARDEN WALLS AND FENCES SHALL BE MANDATORY AS SHOWN HERE. WALLS SHOULD BE OF MASONRY AND FENCES OF WOOD, OR ELEMENTS AS OTHERWISE NOTED.

BUILDING HEIGHT

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- MINIMUM AND MAXIMUM BUILDING HEIGHTS SHALL BE MEASURED IN NUMBER OF FLOORS EACH NOT TO EXCEED 12' FLOOR TO CEILING.

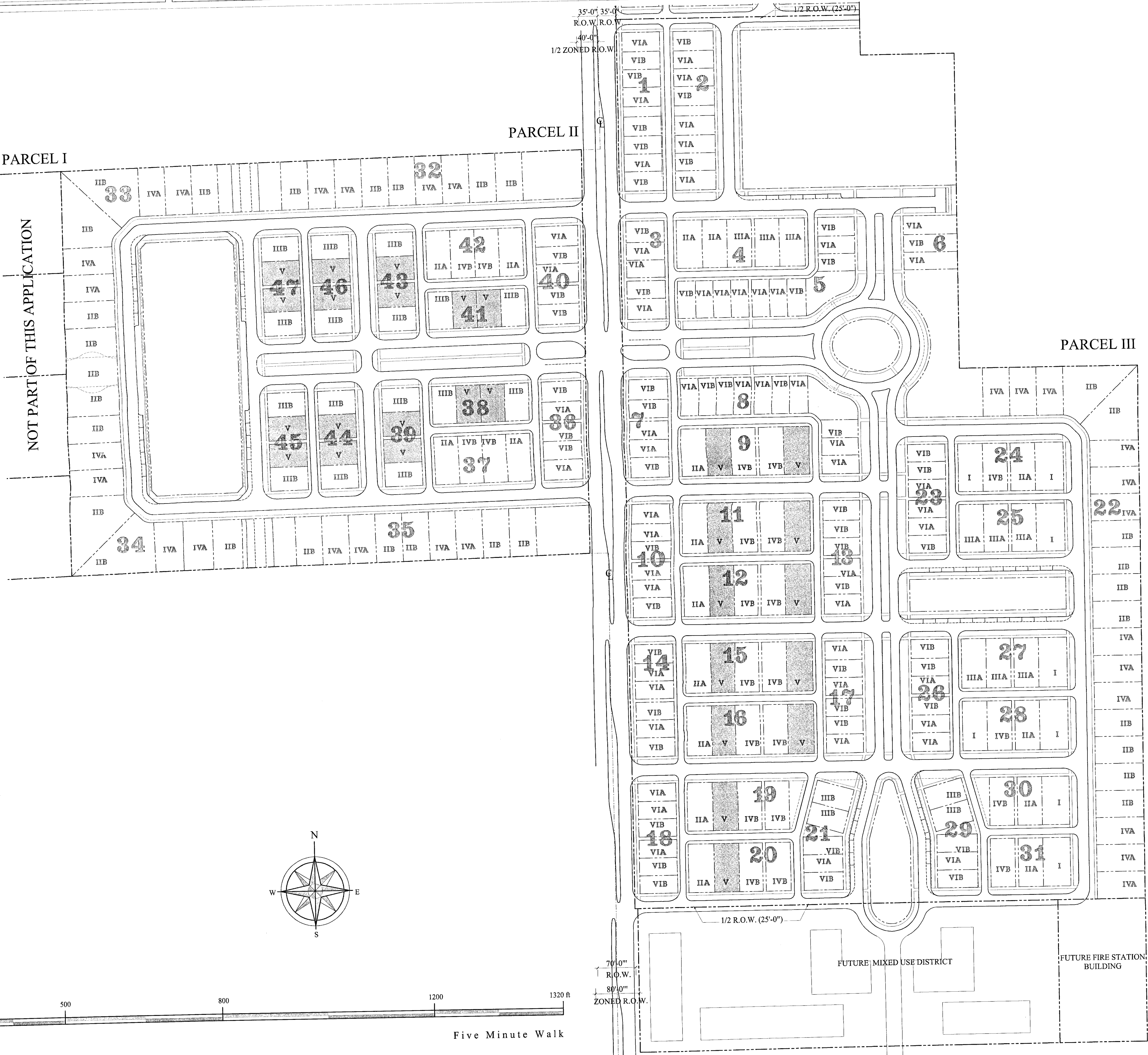
LEGEND

- VISIBILITY TRIANGLE
- ALLOWABLE ENCROACHMENT
- REQ'D CHARACTERISTIC LOCATION
- HOUSE TYPE LOCATION



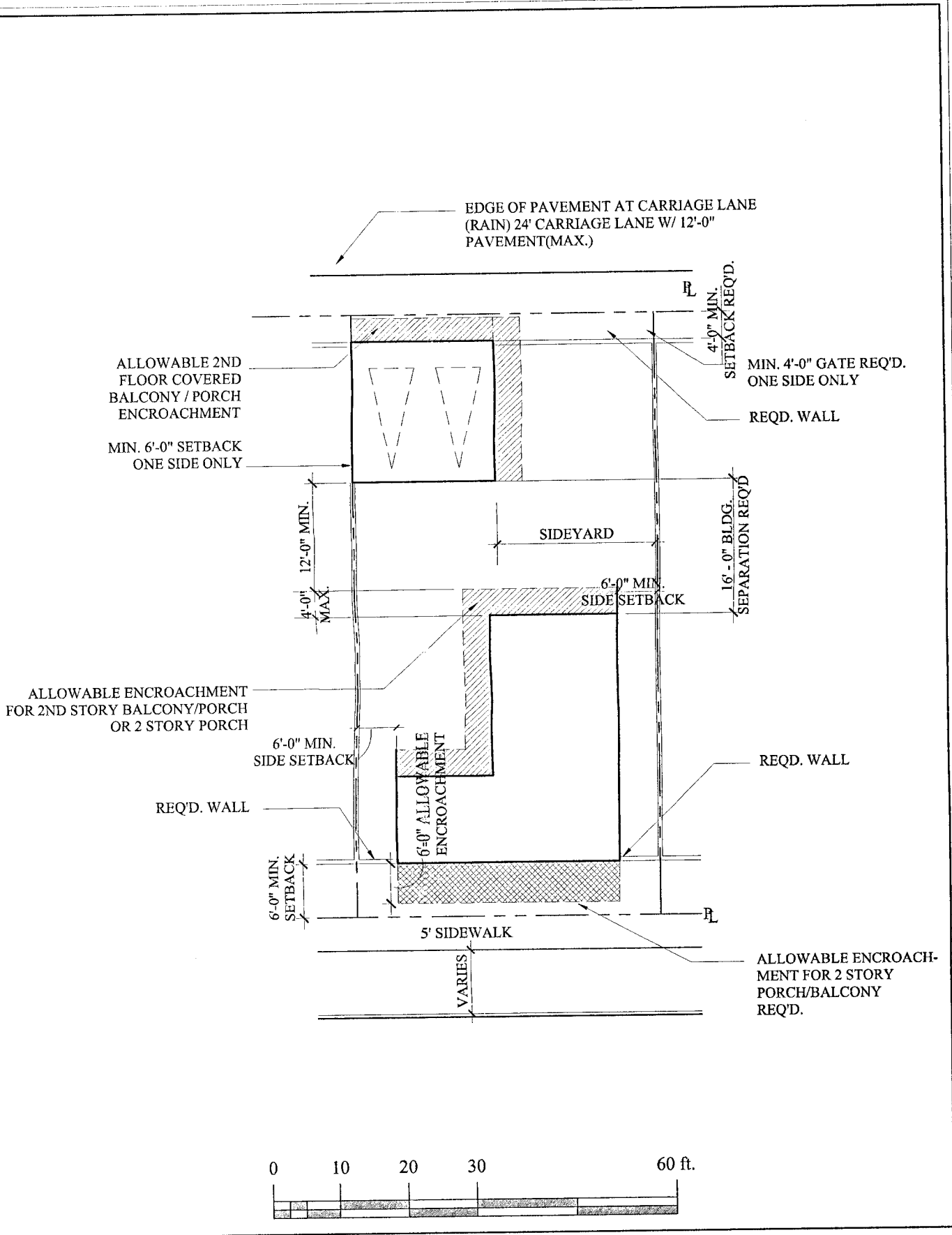
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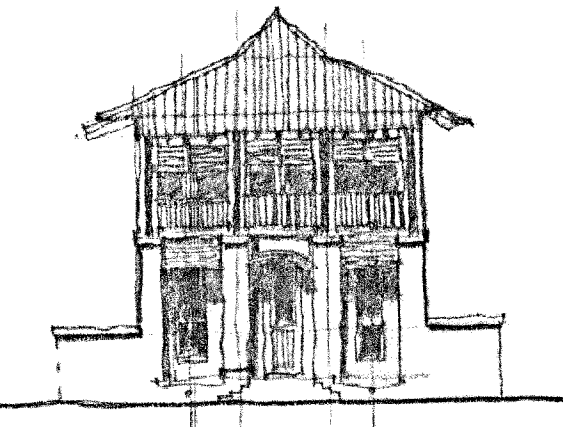


TYPE V  
SMALL HOUSE

Architecture Style: West Indies Style  
Archetype Characteristics and Development Parameters:  
Two (2) Stories, required  
Second Story Porch or Covered Sleeping Balcony at street frontage required  
Covered Sleeping Balcony at Carriage Second Story required  
Detached Carriage House Required: Two (2) Stories Maximum  
Front Stoop Required: Min. Stoop Height = 28"  
Maximum Height to Roof Eave at Principle Structure = 26'-0" to 30'-0" Above First Finished Floor  
Minimum -Maximum Roof Eave at Second Story Carriage House = 20'-0" - 22'-0" Above Finished Grade  
Perimeter Walls Required: Wall Height 3'-0" Min. to 5'-0" Max.  
Carriage Lane Required at Rear Property Line



70' - 76' Lot Depth	90' - 92' Lot Depth
Proposed Unit Max. Interior Gross Square Footage: 2,022 sq.ft.	Proposed Unit Max. Interior Gross Sq.Ft.: 2,330 sq.ft.
Minimum Unit Private Open Space Provided: 2,750 sq.ft.	Minimum Unit Private Open Space Provided: 2,912 sq.ft.
Maximum Lot Coverage: 1,236 sq.ft.	Maximum Lot Coverage: 2,120 sq.ft.
Minimum Lot Square Footage: 3,150 sq.ft.	Minimum Lot Square Footage: 4,140 sq.ft.
Minimum Street Frontage Required: 70%	Minimum Street Frontage Required: 70%
Proposed Number of Units: 16 Units	Proposed Number of Units: 12 Units



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SUMMERVILLE  
GOULDS, MIAMI - DADE COUNTY, FLORIDA

TYPE VIA Small Attached House

JAROSZ, ROSELLO & BALBOA

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#### BUILDING PLACEMENT

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#### PARKING

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#### PERMITTED ENCROACHMENT

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#### LEGEND

VISIBILITY TRIANGLE	
ALLOWABLE ENCROACHMENT	
REQ'D CHARACTERISTIC LOCATION	
HOUSE TYPE LOCATION	



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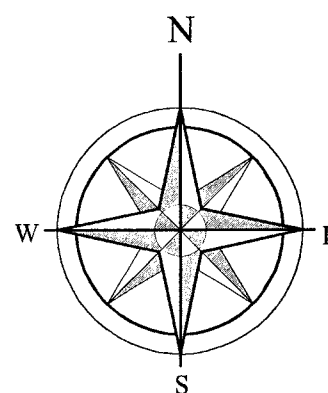
Five Minute Walk

PARCEL I

PARCEL II

PARCEL III

NOT PART OF THIS APPLICATION



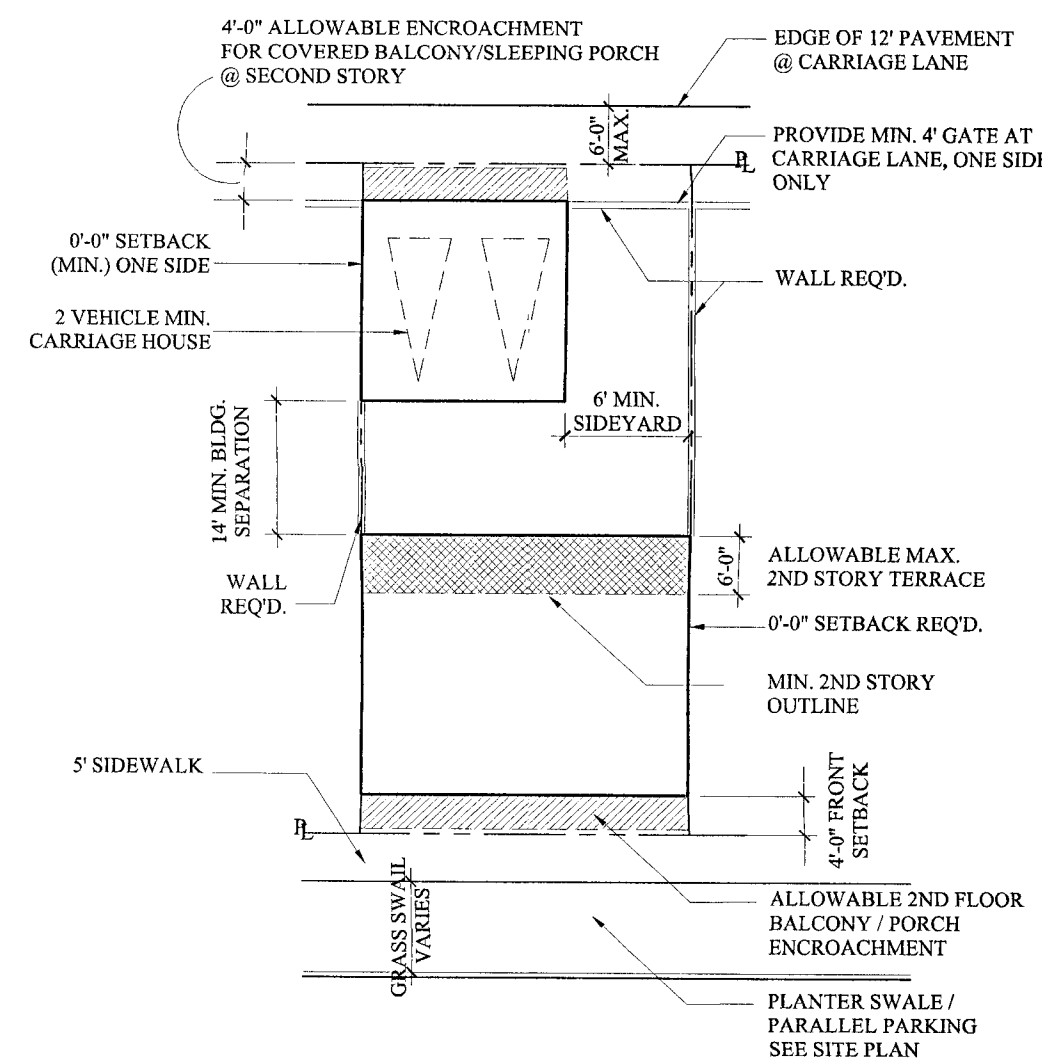
#### TYPE VIA

SMALL ATTACHED HOUSE

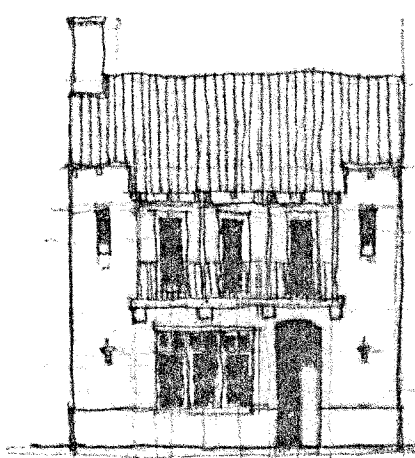
Architecture Style : French Quarter Style

Archetype Characteristics and Development Parameters:

Two (2) Stories, required  
Second Story Porch or Covered Sleeping Balcony at street frontage required  
Covered Sleeping Balcony at Carriage Second Story required  
Detached Carriage House Required: Two (2) Stories Maximum  
Front Stoop Required: Min. Stoop Height = 28"  
Maximum Height to Roof Eave at Principle Structure = 24'-0" to 32'-0" Above First Finished Floor  
Minimum -Maximum Roof Eave at Second Story Carriage House = 20'-0" - 22'-0" Above Finished Grade  
Perimeter Walls Required: Wall Height 4'-0" Min. to 6'-0" Max.  
Carriage Lane Required at Rear Property Line



Proposed Unit Maximum Interior Gross Square Footage: 2,520 sq.ft.  
Minimum Unit Private Open Space Provided: 1,512 sq.ft.  
Maximum Lot Coverage: 1,476 sq.ft.  
Minimum Lot Square Footage: 2,310 sq.ft.  
Minimum Street Frontage Required: 100%  
Proposed Number of Units: 54 Units



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TYPE VIB Large Attached House

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



PERMITTED ENCROACHMENT

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BUILDING HEIGHT

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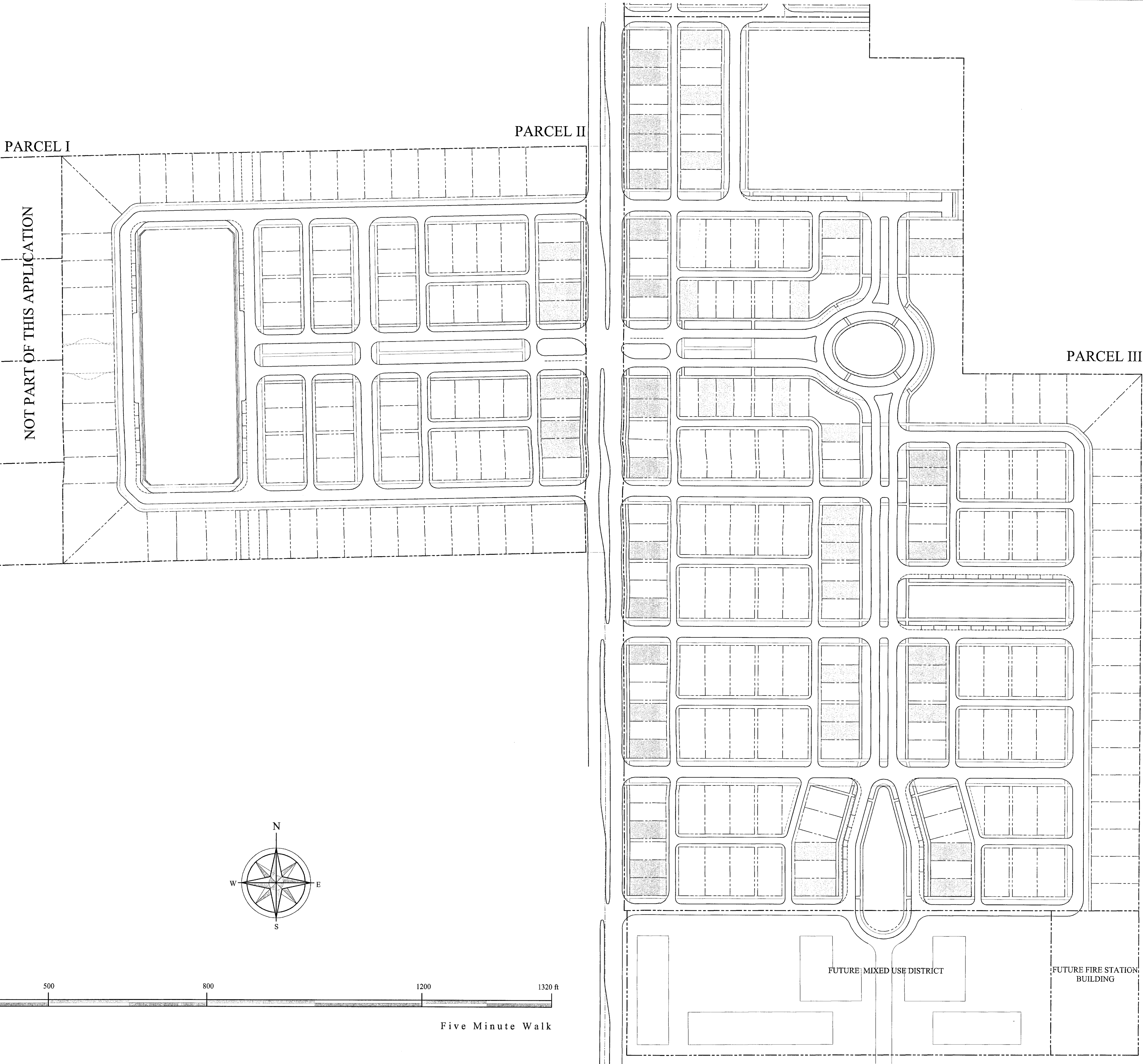
LEGEND

VISIBILITY TRIANGLE	
ALLOWABLE ENCROACHMENT	
REQ'D CHARACTERISTIC LOCATION	
HOUSE TYPE LOCATION	



Five Minute Walk

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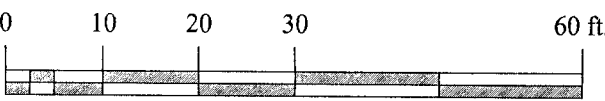
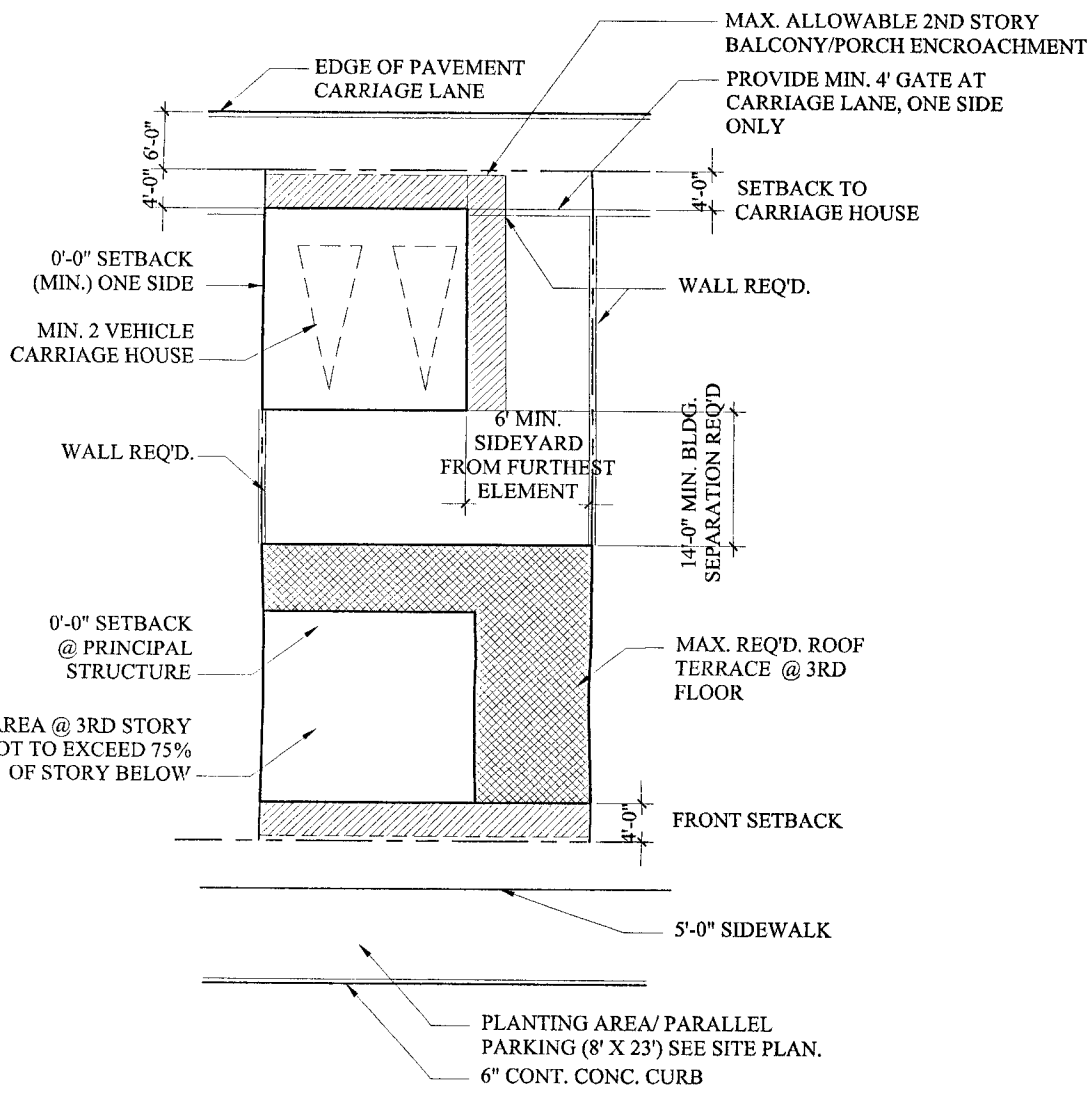


TYPE VIB  
LARGE ATTACHED HOUSE

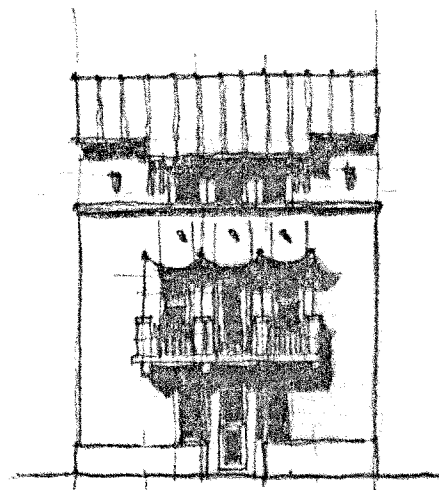
Architecture Style : French Quarter Style

Archetype Characteristics and Development Parameters:

Three (3) Stories, required  
Second or Third Floor Sleeping Porch at Street Frontage Required  
Covered Sleeping Balcony at Carriage Second Story Required  
Detached Carriage House Required: Two (2) Stories Maximum  
Front Stoop Required: Min. Stoop Height = 28"  
Maximum Height to Roof Eave at Principle Structure = 36'-0" to 40'-0" Above First Finished Floor  
Minimum - Maximum Roof Eave at Second Story Carriage House = 20'-0" - 22'-0" Above Finished Grade  
Perimeter Walls Required: Wall Height 4'-0" Min. to 6'-0" Max.  
Carriage Lane Required at Rear Property Line



Proposed Unit Maximum Interior Gross Square Footage: 2,250 sq. ft.  
Minimum Unit Private Open Space Provided: 1,410 sq. ft.  
Maximum Lot Coverage: 1,476 sq. ft.  
Minimum Lot Square Footage: 2,310 sq. ft.  
Minimum Street Frontage Required: 100%  
Proposed Number of Units: 53 Units

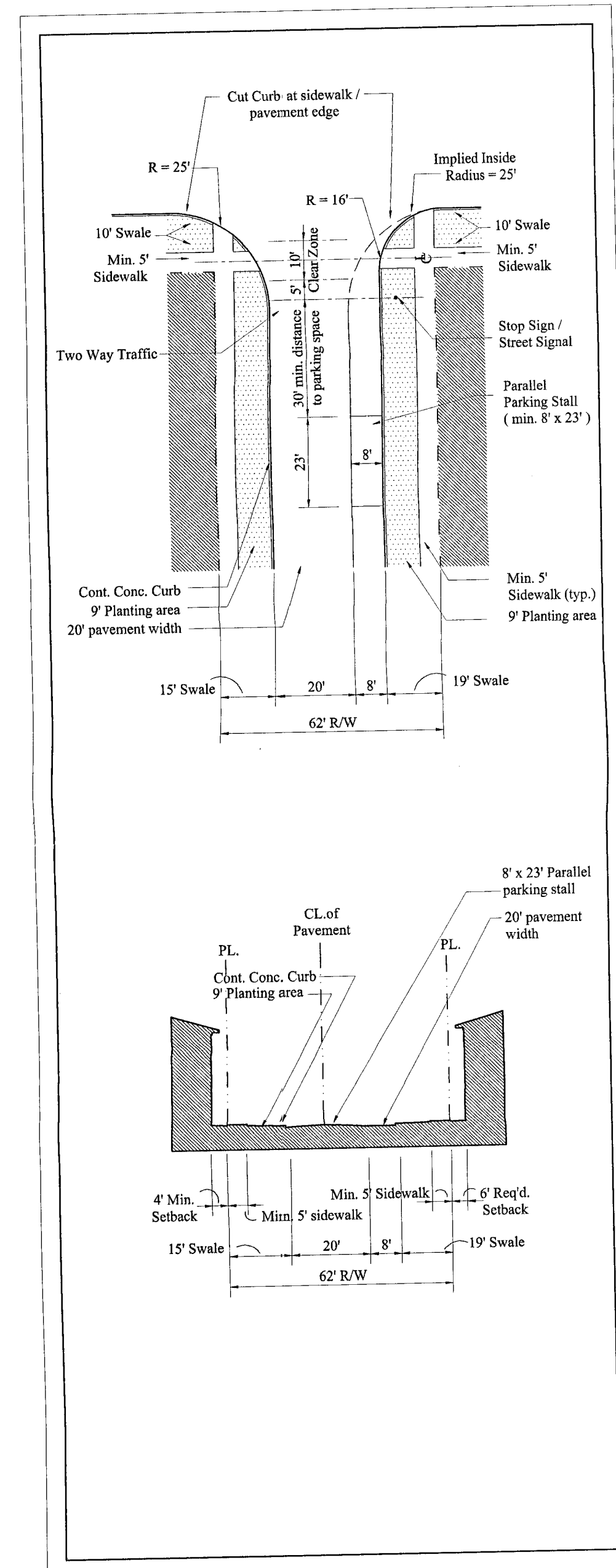


CONCEPTUAL ELEVATION

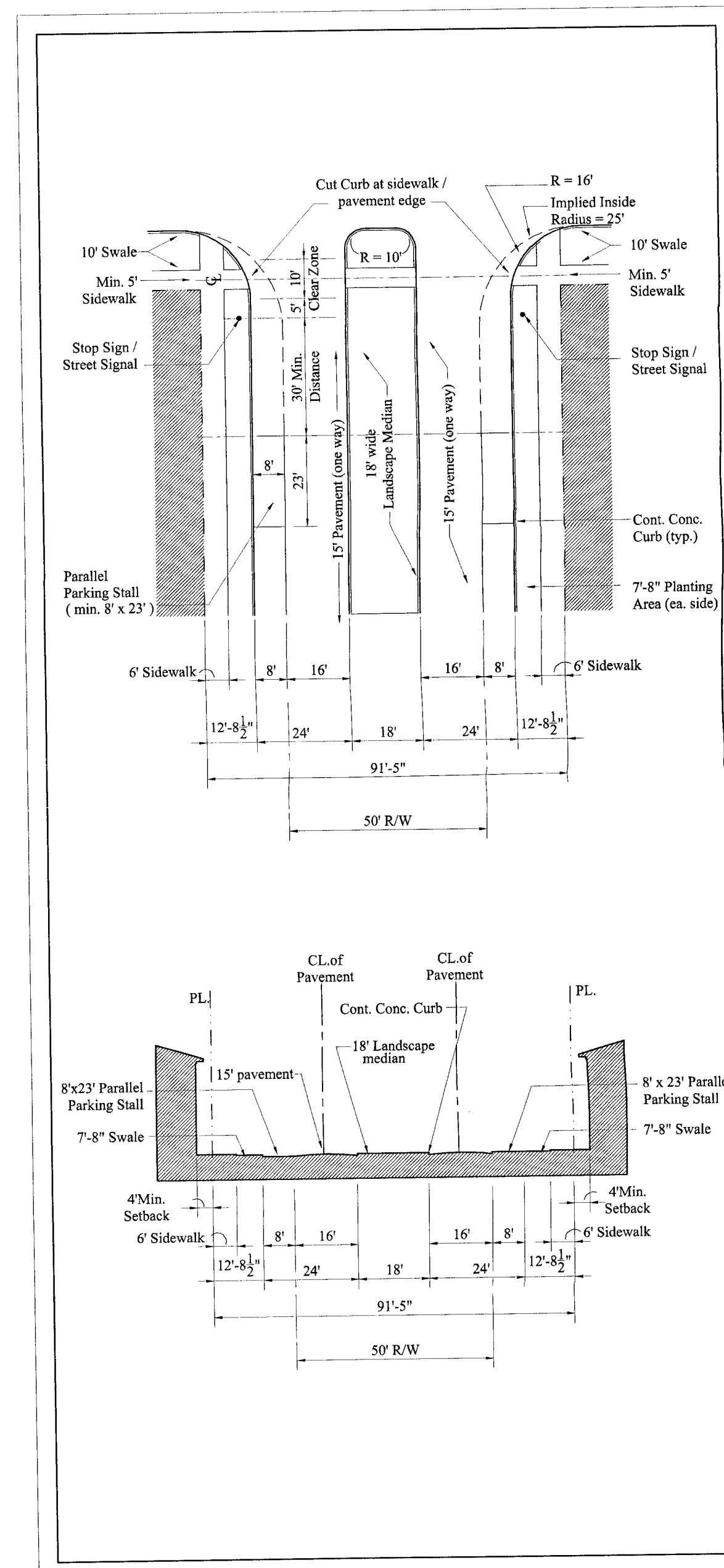


STREET TYPES AND STREET SECTIONS

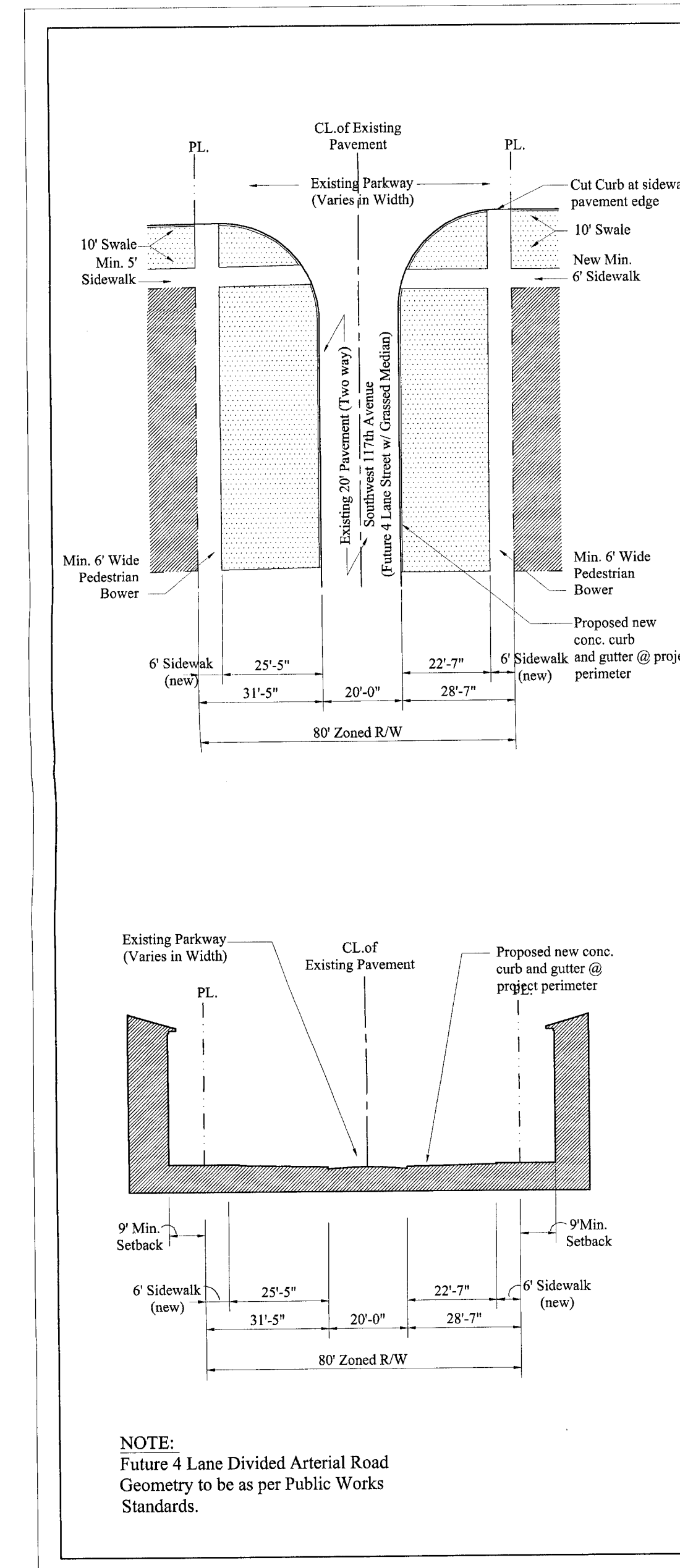
T = 62'  
Minor Road w/  
Parallel Parking



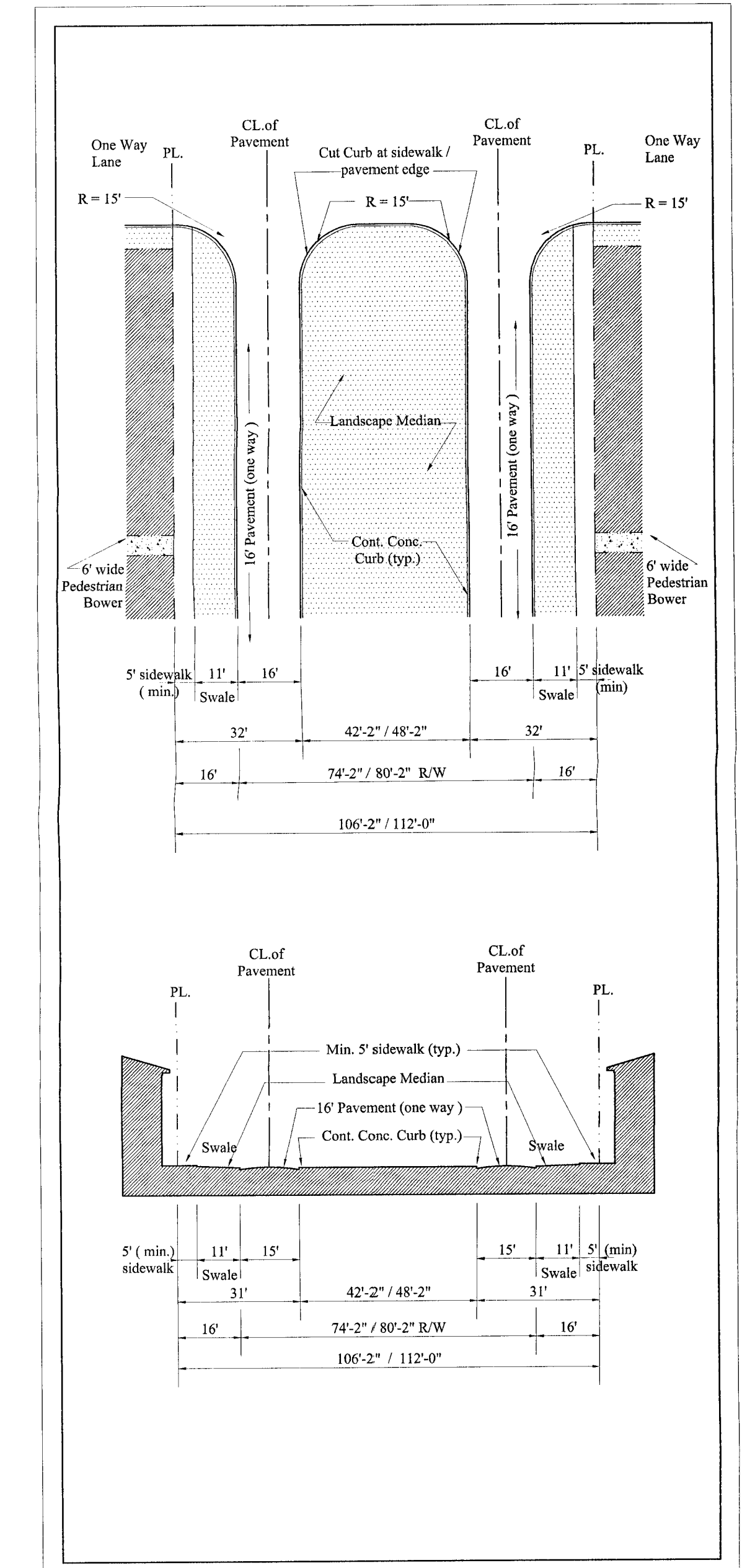
T = 91'  
Boulevard



T = 80'  
Zoned R.O.W.  
(Existing Condition Shown)



T = 106' / 112'  
Main Street



NOTE:  
NO TRUCKS ALLOWED IN  
CARRIAGE LANES  
LEGEND

SUBJECT PROPERTY  
GRASSED AREAS

0 15 30 45 105 ft.  
SCALE: 1" = 30'